



SHEET NUMBER

00  
01  
02  
03  
04  
05  
06  
07  
08

SHEET NAME

COVER SHEET  
EXISTING & PROPOSED SITE PLAN  
EXISTING FLOOR PLAN  
PROPOSED FLOOR PLANS, ARTIST'S IMPRESSION & PERSPECTIVE VIEWS  
EXISTING ELEVATIONS  
PROPOSED ELEVATIONS  
TYPICAL SECTION & BASIX COMMITMENTS  
SHADOW DIAGRAMS  
SHADOW DIAGRAM - ORTHOGRAPHIC

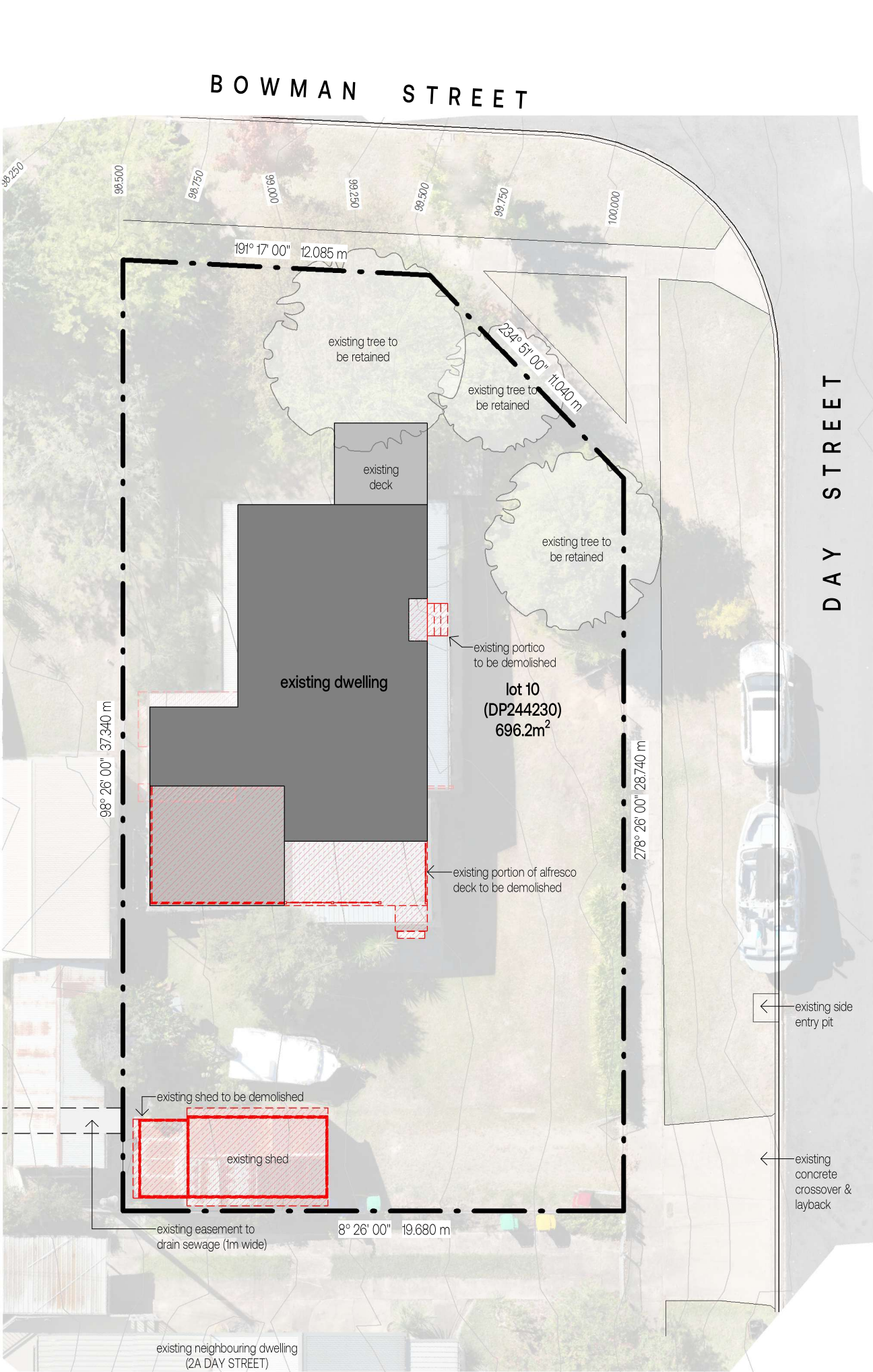
PROPOSED ADDITIONS & ALTERATIONS  
TO AN EXISTING DWELLING

B & T O'REILLY & FAMILY

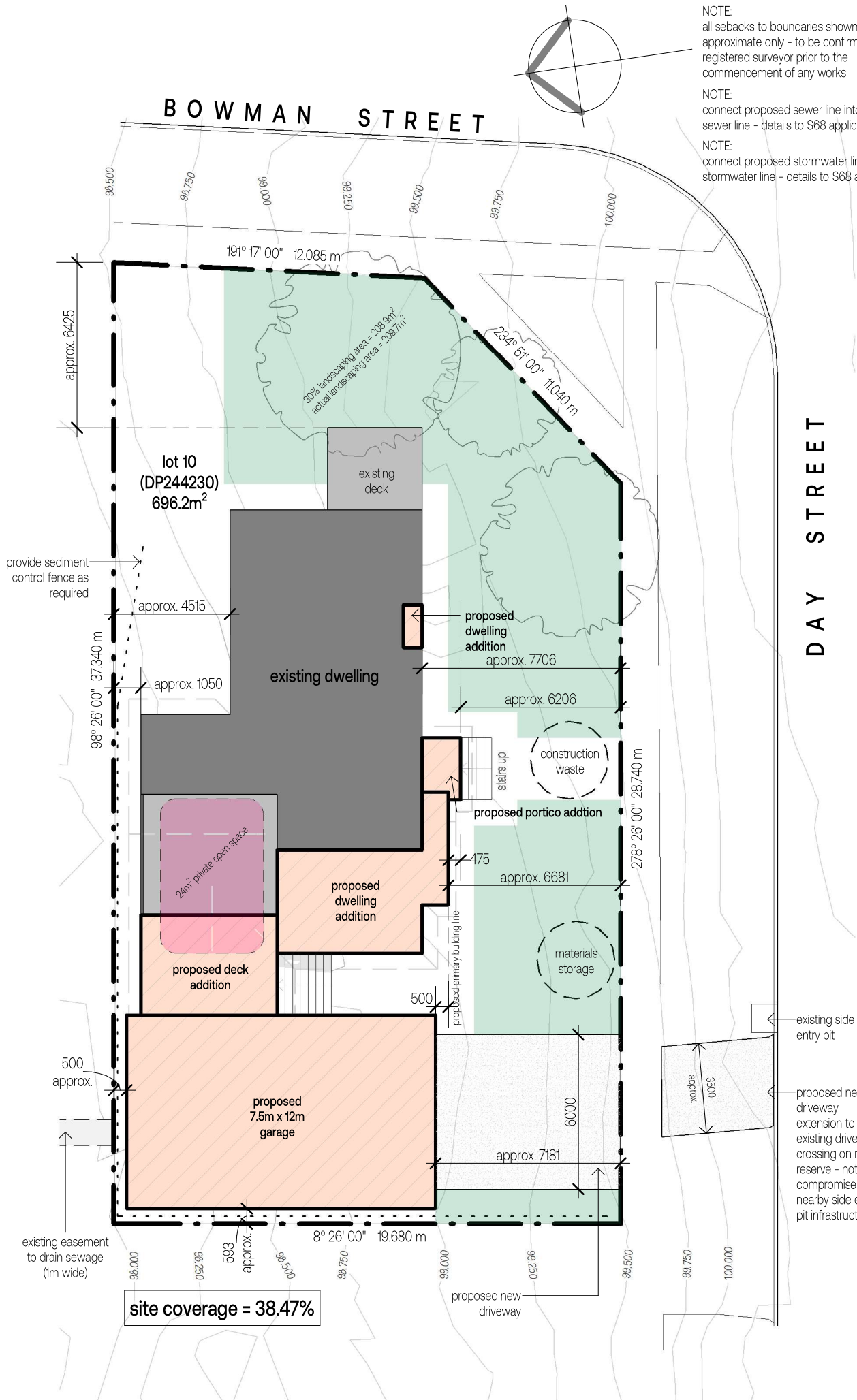
LOT 10 (DP244230)  
2A BOWMAN STREET  
TALBINGO NSW 2720

Sewell Design

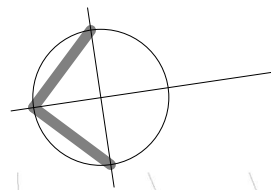




existing site plan  
scale 1:200



proposed site plan  
scale 1:200



NOTE:  
all setbacks to boundaries shown are approximate only - to be confirmed by a registered surveyor prior to the commencement of any works

NOTE:  
connect proposed sewer line into existing sewer line - details to S68 application

NOTE:  
connect proposed stormwater line into existing stormwater line - details to S68 application

**LEGEND**

proposed walls

existing walls

demolished elements

G	05.06.2025	issued for DA
F	02.06.2025	preliminary issue for DA
E	30.05.2025	preliminary issue for DA
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A	28.02.2024	preliminary concept

ISSUE	DATE	AMENDMENT
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**PROJECT:**  
PROPOSED ADDITIONS & ALTERATIONS  
TO AN EXISTING DWELLING

**LOCATION:**  
LOT 10 (DP244230)  
2A BOWMAN STREET  
TALBINGO NSW 2720

**CLIENT:**  
B & T O'REILLY & FAMILY

**SHEET TITLE:**  
EXISTING & PROPOSED SITE PLAN

**STATUS:**  
DA

**SCALE @ A3:**  
AS NOTED

**SHEET:**

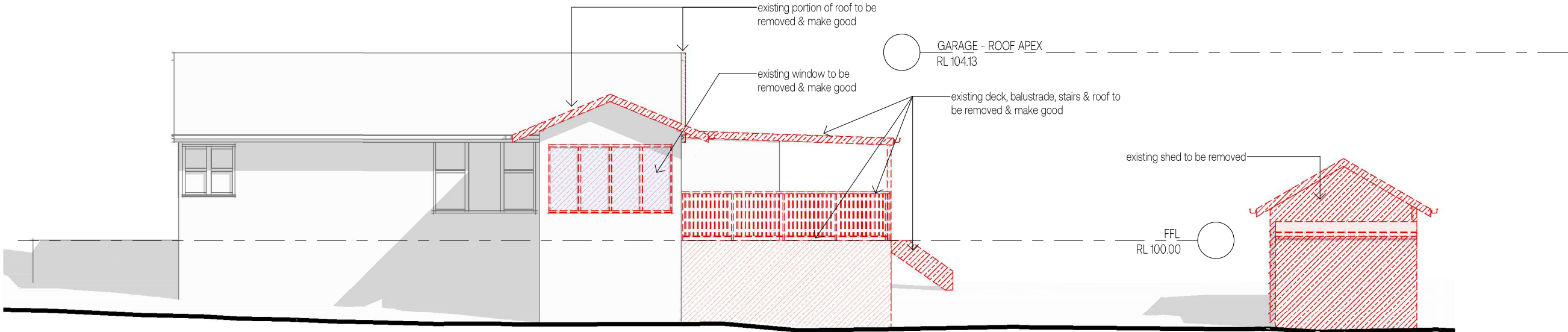
01

**Sewell Design**

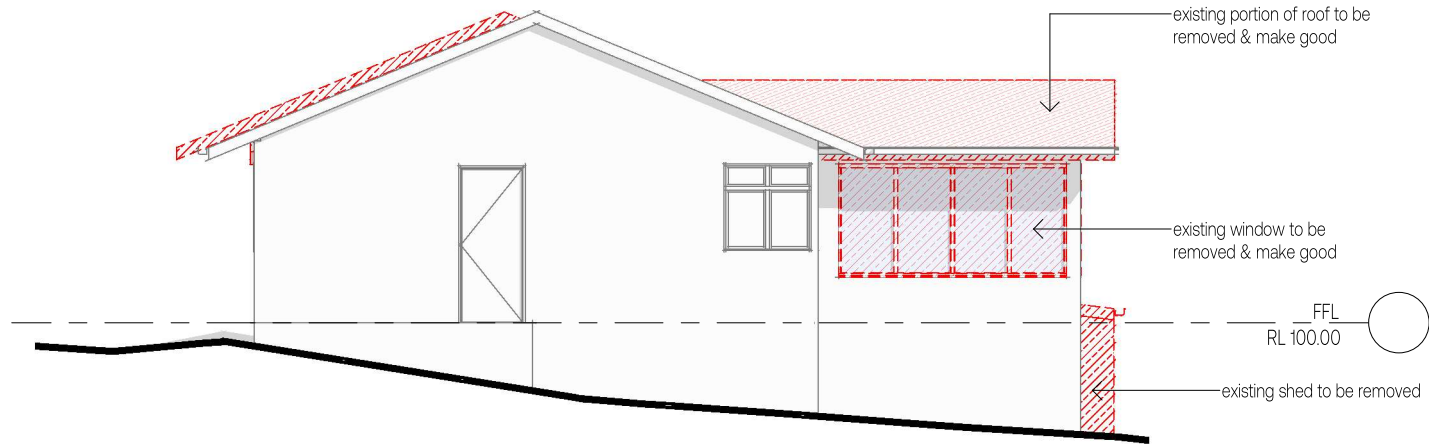
**PROJECT NUMBER:**  
24019

**ISSUE:**  
G



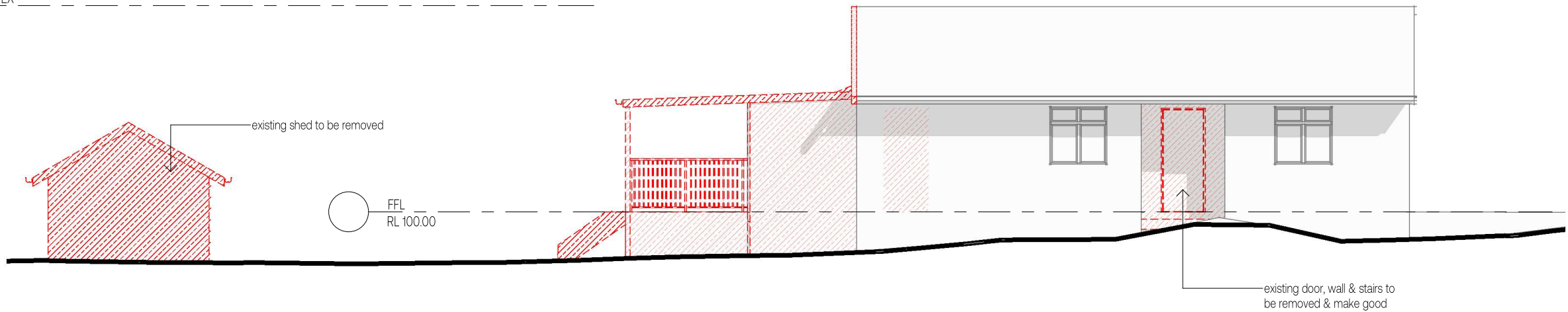


existing northern elevation  
scale 1:100

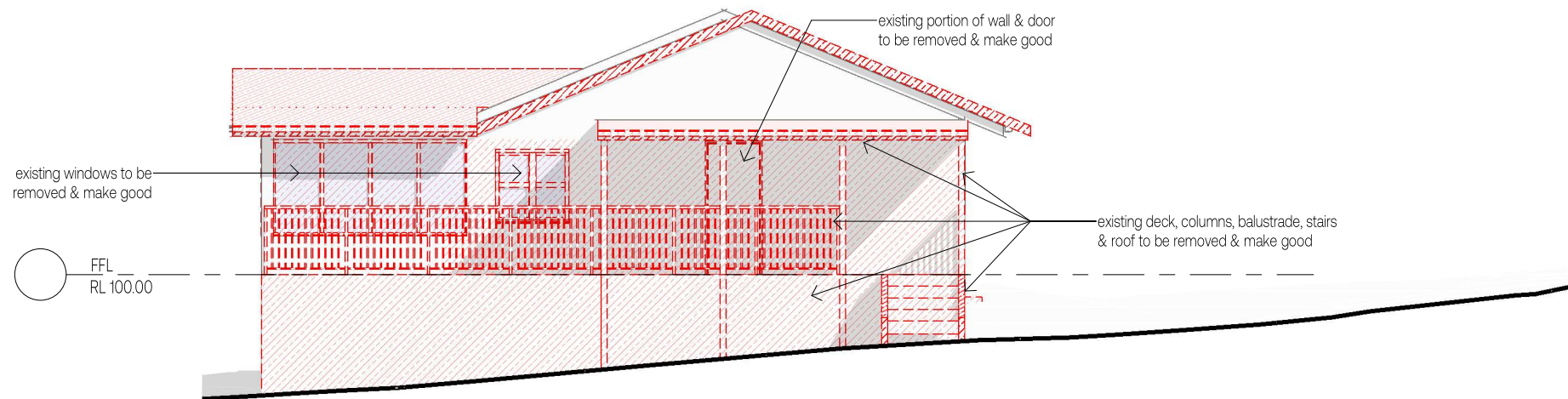


existing eastern elevation  
scale 1:100

GARAGE - ROOF APEX  
RL 104.13



existing southern elevation  
scale 1:100



existing western elevation  
scale 1:100

**LEGEND**

proposed walls

existing walls

demolished elements

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**bdqa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**PROJECT:**  
PROPOSED ADDITIONS & ALTERATIONS  
TO AN EXISTING DWELLING

**LOCATION:**  
LOT 10 (DP244230)  
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TALBINGO NSW 2720

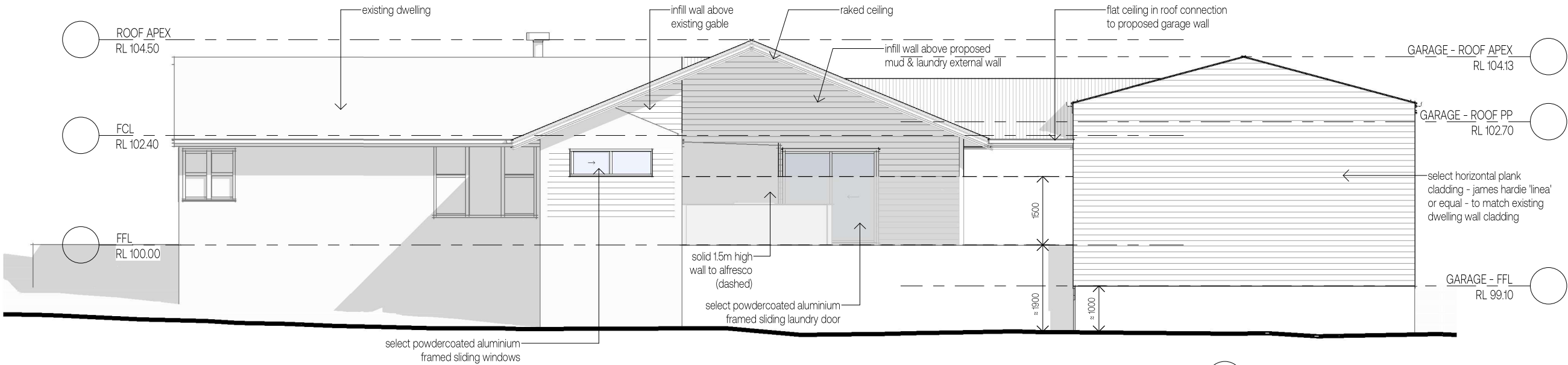
**CLIENT:**  
B & T O'REILLY & FAMILY

**SHEET TITLE:**  
EXISTING ELEVATIONS

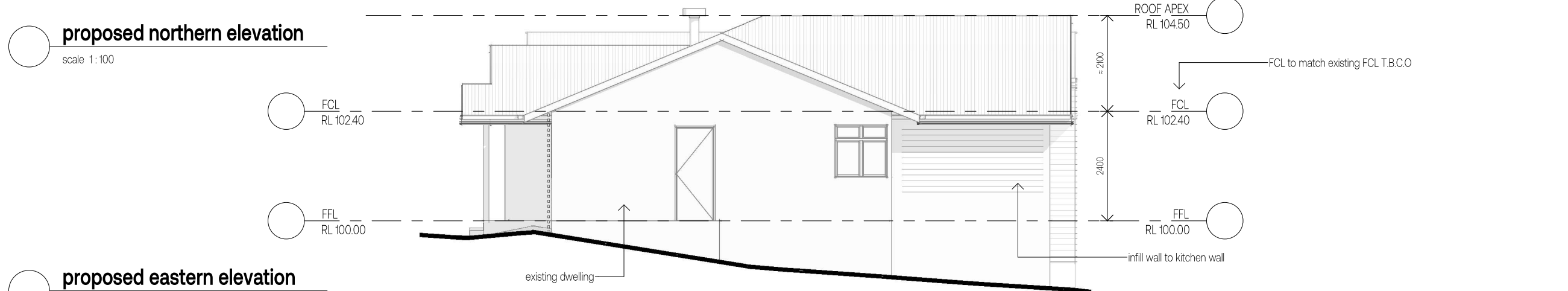
**STATUS:** DA      **SCALE @ A3:** AS NOTED      **SHEET:** 04

**Sewell Design**

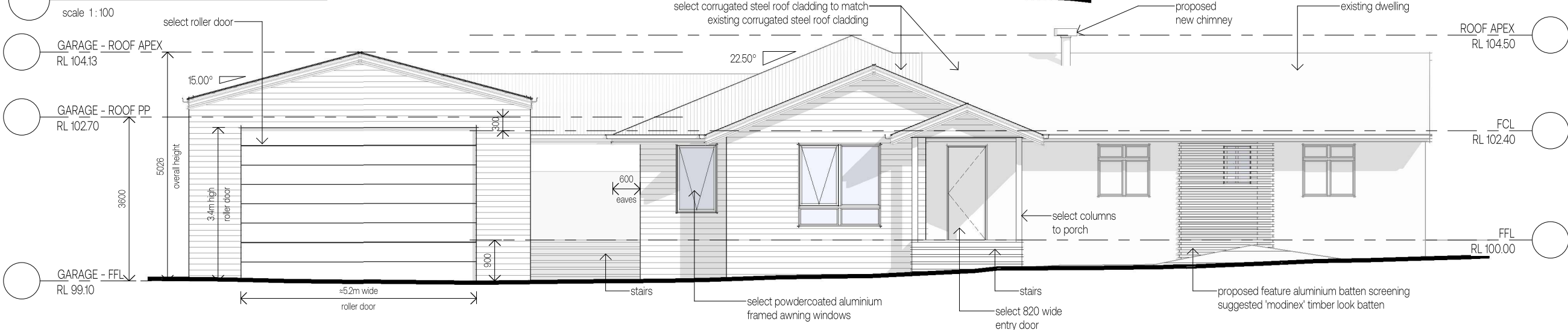
**PROJECT NUMBER:** 24019      **ISSUE:** G



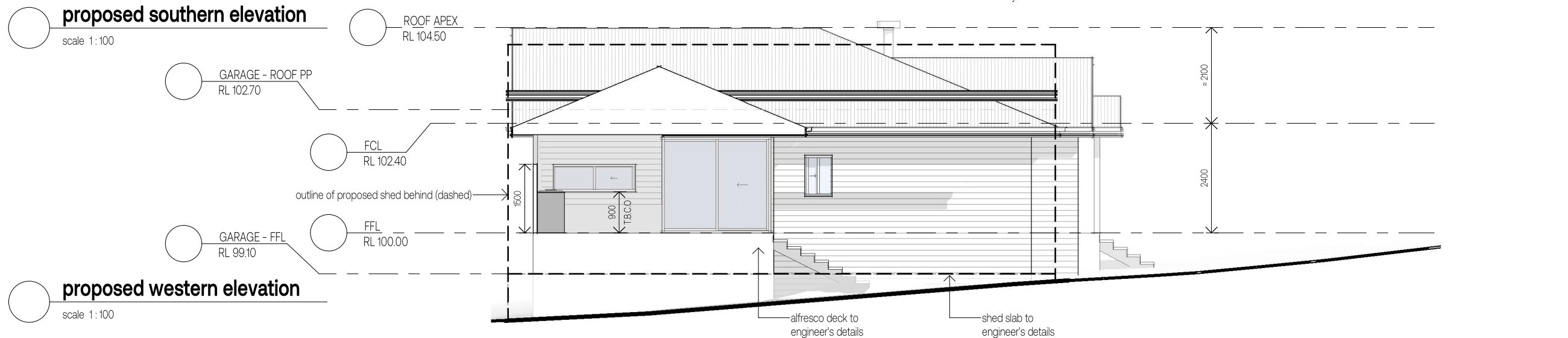
proposed northern elevation  
scale 1:100



proposed eastern elevation  
scale 1:100



proposed southern elevation  
scale 1:100



proposed western elevation  
scale 1:100

**LEGEND**

- proposed walls
- existing walls
- demolished elements

ISSUE	DATE	AMENDMENT
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**bdqa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

PROJECT:  
**PROPOSED ADDITIONS & ALTERATIONS  
TO AN EXISTING DWELLING**

LOCATION:  
**LOT 10 (DP244230)  
2A BOWMAN STREET  
TALBINGO NSW 2720**

CLIENT:  
**B & T O'REILLY & FAMILY**

SHEET TITLE:  
**PROPOSED ELEVATIONS**

STATUS: DA  
SCALE @ A3: AS NOTED  
SHEET: **05**

Sewell Design

PROJECT NUMBER: **24019**  
ISSUE: **G**



Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	
Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with enclosed subfloor: framed (R0.7).	R1.30 (down) (or R2.00 including construction)	N/A	
external wall: framed (weatherboard, fibro, metal clad)	R1.80 (or R2.20 including construction)		
flat ceiling, pitched roof	ceiling R3.25 (up), roof: foil/sarking	light (solar absorptance < 0.475)	
Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W1	N	4.41	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W2	N	1.08	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W3	S	0.54	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W4	S	3.24	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, clear/air gap/ clear, (U-value: 5.34, SHGC: 0.67)			
W5	S	1.35	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, clear/air gap/ clear, (U-value: 5.34, SHGC: 0.67)			
W6	W	0.54	2.5	2.5	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W7	W	5.04	8.5	2.5	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W8	W	1.08	8.5	2.5	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

BASIX NOTES:

- THERMAL PERFORMANCE AND MATERIALS construction requirements
- \* floor types to basix requirements
  - \* external wall types to basix requirements
  - \* internal wall types to basix requirements
  - \* ceiling and roof types to basix requirements
  - insulation requirements
    - \* roof insulation to basix requirements
    - \* ceiling insulation to basix requirements
  - \* external wall insulation to basix requirements
  - \* internal wall insulation to basix requirements
  - slab insulation to basix requirements
  - colour requirements
    - \* roof colour to basix requirements
    - \* wall colour to basix requirements
  - ceiling fans
    - \* ceiling fans to basix requirements
  - windows, doors & skylights
    - \* window details to basix requirements
    - \* door details to basix requirements
    - \* skylight details to basix requirements

- WATER DETAILS water fixtures
- \* all showerheads to basix requirements
  - \* all toilets to basix requirements
  - \* all kitchen taps to basix requirements
  - \* all bathroom taps to basix requirements

- ENERGY
- \* hot water system type & performance to basix requirements
  - \* heating and cooling type & energy efficiency ratio to basix requirements
  - \* ventilation to basix requirements
  - \* lighting to basix requirements
  - \* photovoltaic system (if selected) to basix requirements
  - \* cooktop/oven to basix requirements
  - \* clothes drying line to basix requirements

refer to basix requirements for select foil/sarking or foil backed blanket to roof

refer to elevations for roof pitch, eaves width and ceiling height

select scyon 'linea' wall cladding installed on proprietary batten system

FCL  
RL 102.40

FFL  
RL 100.00

typical section

scale 1:50

select timber wall frames & roof trusses @ 600mm ctrs max

select reflective foil to external walls

timber bearers & joist suspended floor to engineer's details

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PROPOSED ADDITIONS & ALTERATIONS  
TO AN EXISTING DWELLING

LOCATION:  
LOT 10 (DP244230)  
2A BOWMAN STREET  
TALBINGO NSW 2720

CLIENT:  
B & T O'REILLY & FAMILY

SHEET TITLE:  
TYPICAL SECTION & BASIX COMMITMENTS

STATUS:  
DA

SCALE @ A3:  
AS NOTED

SHEET:

06

Sewell Design

PROJECT NUMBER:

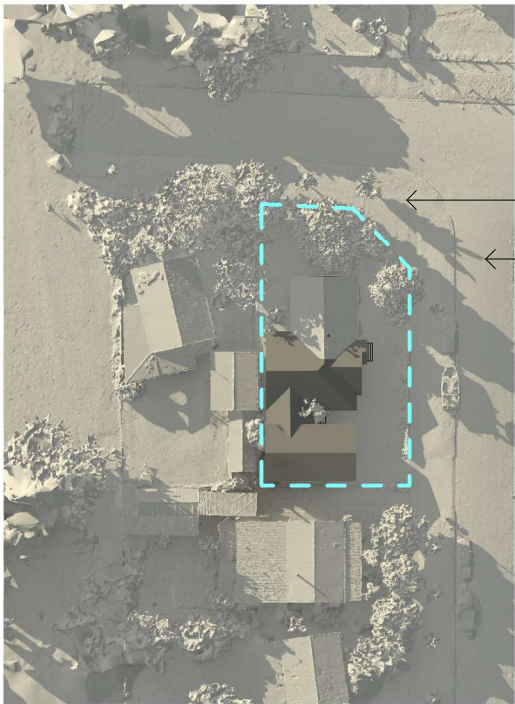
24019

ISSUE:

G



shadow diagrams



aerial imagery shadow  
22/03/2025 10:00 am  
computed shadow  
22/06/2025 09:00 am

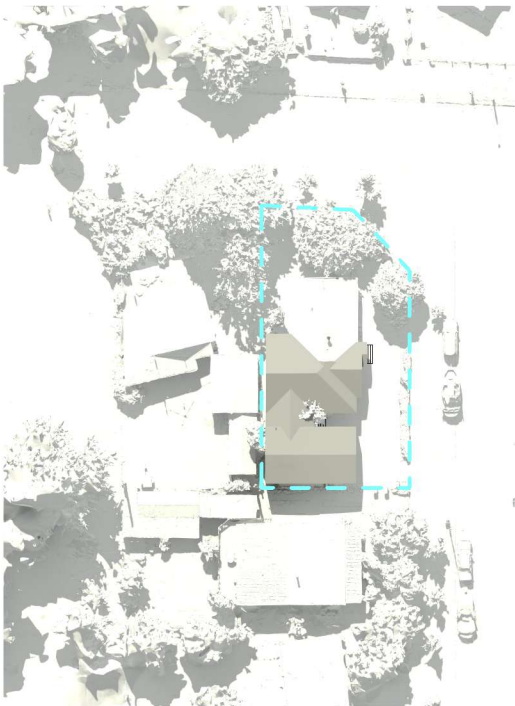


computed shadow  
22/06/2025 15:00 pm  
aerial imagery shadow  
22/03/2025 10:00 am

winter - 9am  
scale 1:1000

winter - 12pm  
scale 1:1000

winter - 15pm  
scale 1:1000



summer - 9am  
scale 1:1000

summer - 12pm  
scale 1:1000

summer - 15pm  
scale 1:1000

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SHEET TITLE:  
SHADOW DIAGRAMS

STATUS:  
DA

SCALE @ A3:  
AS NOTED

SHEET:  
07

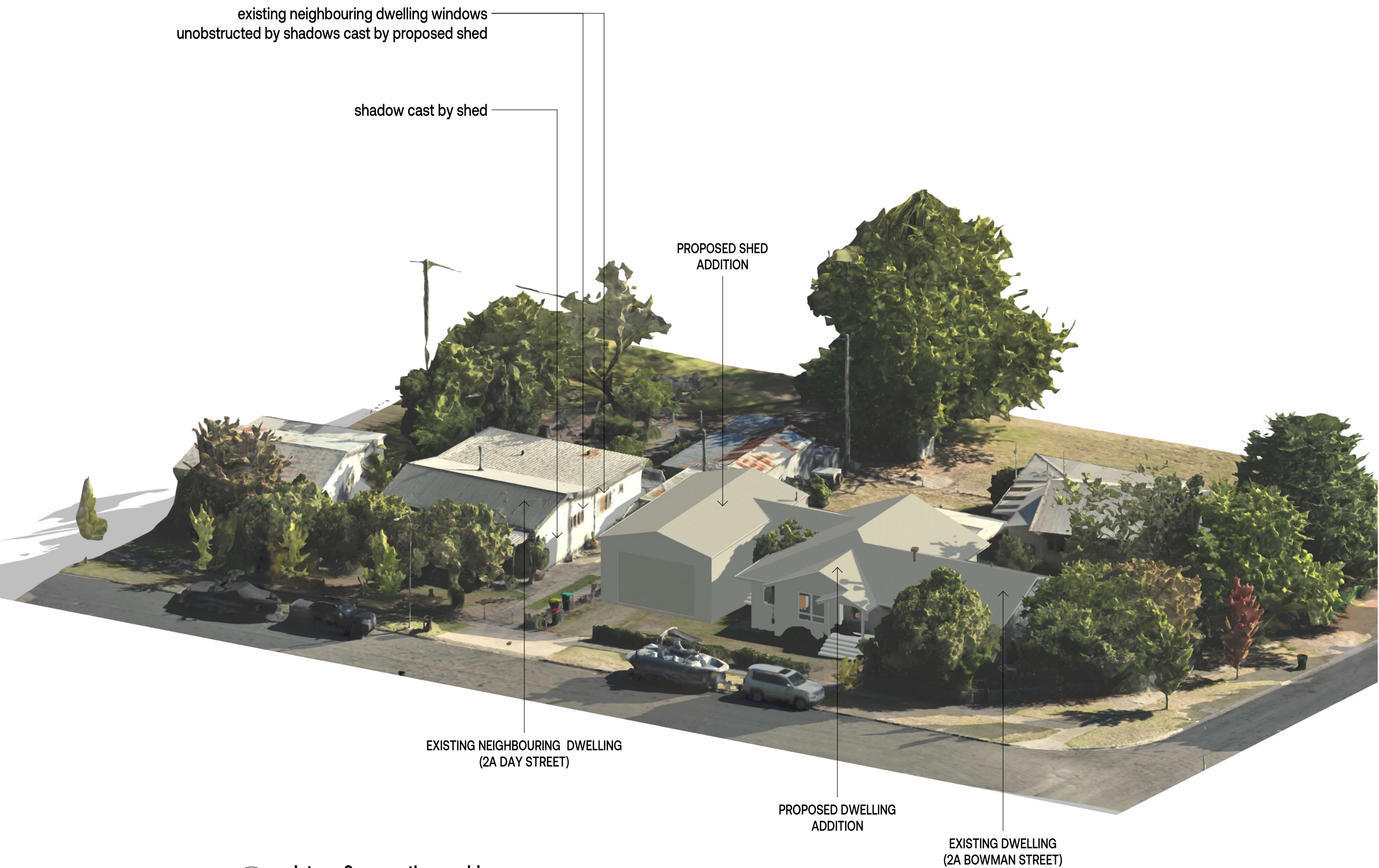
Sewell Design

PROJECT NUMBER:  
24019

ISSUE:  
G



shadow diagram - orthographic



winter - 9am - orthographic  
scale 1:140

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**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

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SHEET TITLE:  
SHADOW DIAGRAM - ORTHOGRAPHIC

STATUS:  
DA

SCALE @ A3:  
AS NOTED

SHEET:  
08

Sewell Design

PROJECT NUMBER:  
24019

ISSUE:  
G